

Essential Skills: Site Plan Review Reading and Interpreting Maps and Plans

Prepared for:

**Monroe County Department of Planning & Land Use
Decision Making Training Program**

June 7, 2023

Prepared by:

Peter G. Vars, P.E.
BME ASSOCIATES

Stages of Plan Review

- Concept / Sketch Plan
- Preliminary Plan
- Final Plan

Concept Plan

- **First Stage of Plan Development**
- **Shows a Landowner's Intent for Proposed Use of the Property**
- **Provides Very Basic Information**
 - Parcel boundary and acreage
 - Adjoining streets and properties
 - Proposed use / development
- **Comparison to Zoning Ordinance**
 - Lots meet zoning criteria
 - Optimum or Maximum allowed density (site yield)
 - Calculation worksheet

Concept Plan

- **Identify Any Unique Natural Features**
 - Wetlands
 - Steep slopes
 - Woodlots
 - Drainage ways
- **Prepared for Discussion Purposes with Community and Municipality**
 - Identify any site specific concerns
- **Get to know the property and its development constraints**

Existing Conditions

- **Get to Know the Property**
 - Natural Features
 - Regulated Areas
 - Adjoining Uses
 - Utility Availability
 - Points of Access

EAF Mapper

www.dec.ny.gov/eafmapper/



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NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION



Navigate To Area (Step 1)

Go To:

Select County:

Select Town:

Define Project Site (Step 2)

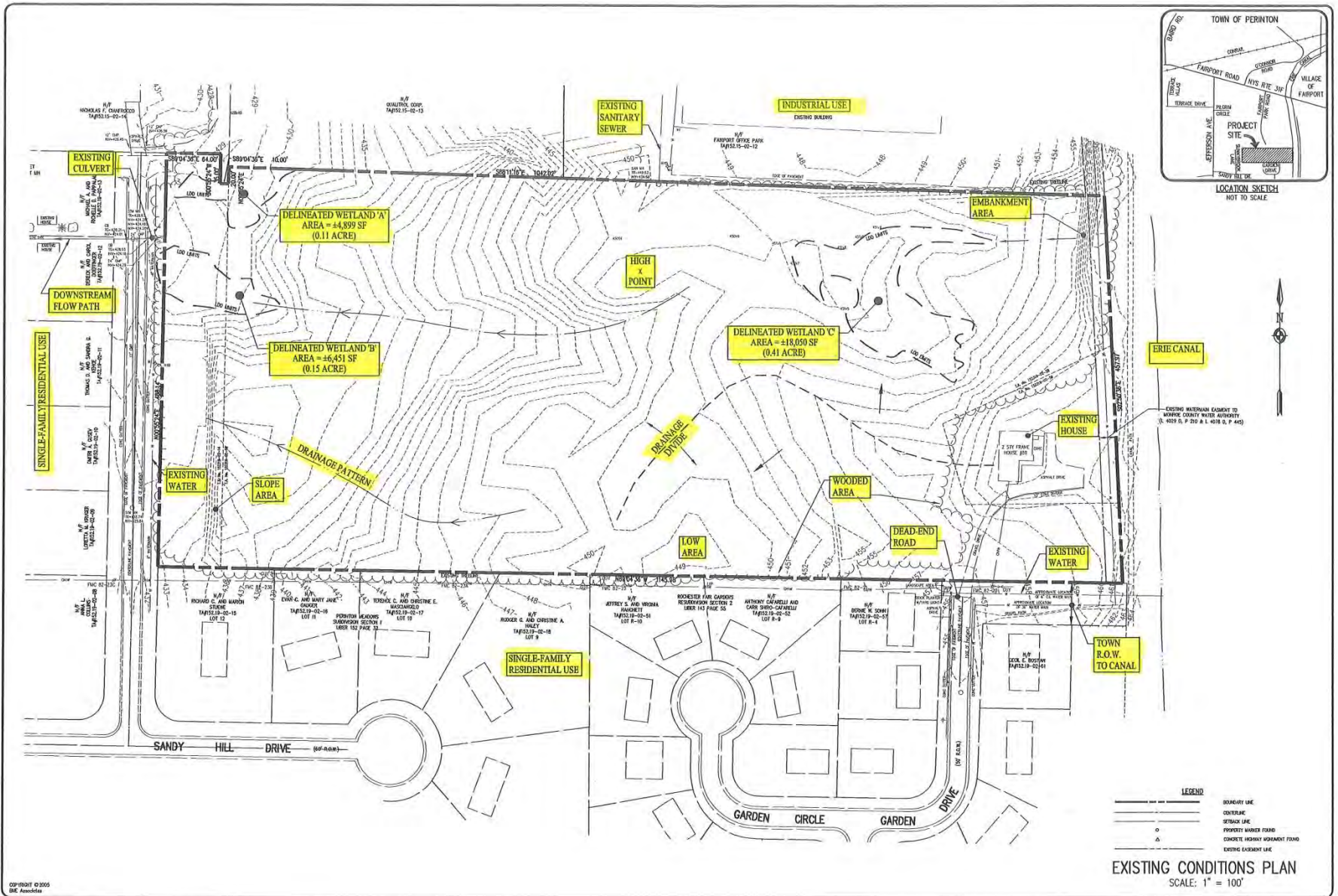
Or

Area:

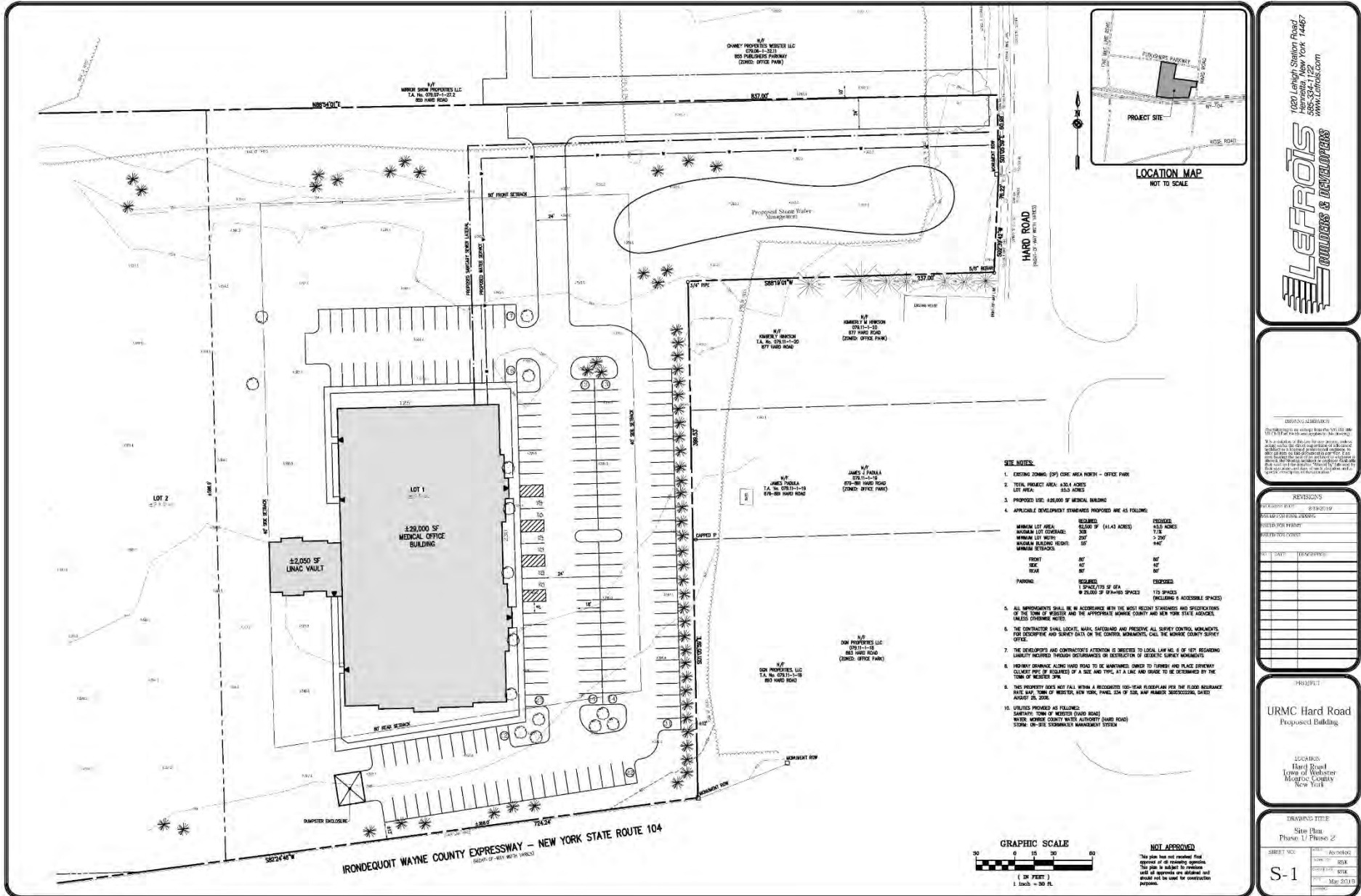
Create Report (Step 3)

Sources: Esri, HERE, Garmin, USGS, Imagery, AIRPHOT, GEBCO, DELorme, SwatchNAD, SCAER, Esri Japan, METI, Es...

Existing Conditions Plan



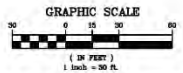
Sample of Concept Plan



SITE NOTES:

- EXISTING ZONING: [D] CORE AREA NORTH - OFFICE PARK
- TOTAL PROJECT AREA: 3.814 ACRES
LOT AREA: 35.3 ACRES
- PROPOSED USE: 429,000 SF MEDICAL BUILDING
- APPLICABLE DEVELOPMENT STANDARDS PROPOSED ARE AS FOLLOWS:

MINIMUM LOT AREA	REQUIRED	PROPOSED
MINIMUM LOT COVERAGE	52.0% OF (11.43 ACRES)	43.2% ACRES
MINIMUM LOT WIDTH	200'	> 200'
MINIMUM BUILDING HEIGHT	50'	940'
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WESTCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS, FENCE ENCLOSURES AND SURVEY DATA ON THE CONTROL MONUMENTS CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 187, REGARDING LIABILITY INCURRED THROUGH OCCURRENCES OR OMISSIONS OF SURVEY CONTROL MONUMENTS.
- HEAVY DRAINAGE ALONG HARD ROAD TO BE MAINTAINED, OWNER TO FURNISH AND PLACE SPURWAY CLOSURE PIPE OF 18" DIAMETER AT A LANE AND GRADE TO BE DETERMINED BY THE TOWN OF WESTCHESTER.
- THIS PROPERTY DOES NOT FALL WITHIN A RECREATED 100-YEAR FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP, TOWN OF WESTCHESTER, NEW YORK, PANEL 02A OF 52A, MAP NUMBER 300300000A, DATED AUGUST 20, 2006.
- UTILITIES PROVIDED AS FOLLOWS:
SEWERAGE: TOWN OF WESTCHESTER (HARD ROAD)
WATER: MONROE COUNTY WATER AUTHORITY (HARD ROAD)
STONE: 10-20% STORMWATER MANAGEMENT SYSTEM



NOT APPROVED
This plan has not been reviewed and approved as it is merely advisory. The user is subject to the provisions and all approvals are obtained and should not be used for construction purposes.

1020 Lehigh Station Road,
Ithaca, New York 14857
www.lefrois.com

DRAWING ADDRESS:

PROJECT NO.:

DATE:

REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT:

URMC Hard Road
Proposed Building

LOCATION:
Hard Road
Town of Westchester
Monroe County
New York

DRAWING TITLE:

Site Plan
Phase 1 / Phase 2

SHEET NO.:

S-1

DATE:

May 2019

Concept Planning

- **Typical Checklist Items**
 - Identification of existing zoning and required lot standards (lot area, lot widths, setbacks)
 - Location or provision for proposed water supply, sewage disposal and stormwater management
 - Identification of any restrictions (including legal) on the property (regulated areas)
 - Municipal design standards (road standards, material specifications)

Preliminary Design Plans

- **Preliminary Design Plans**

- Preliminary plan clearly defines the intent of the owner
- An extension of concept plan, which normally includes input from concept plan hearing
- Contains basic design information such as:
 - lot sizes and basic dimensions (widths, setbacks)
 - utility layout (water, sanitary, storm)
 - existing and proposed topography
 - stormwater management plan
 - limits of disturbance / features to be preserved

Preliminary Design Plans

- **Preliminary Design Plans (cont.)**
 - Contains all information necessary to indicate conformance with the zoning ordinance
 - Indicates proposed phasing (if necessary)
 - Includes utility layout and grading information
 - Accompanied by design reports:
 - stormwater management plan (SWPPP)
 - traffic analysis
 - any other studies identified during concept plan review or EAF review (geotechnical, wetlands delineation, cultural resource survey)

Preliminary Design Plans

- **Preliminary Design Plans (cont.)**
 - Identify if any special districts required (drainage, sewer, water, etc.)
 - Identify any open space including ownership, use, and/or restrictions
 - Indicates if any variances are required

Preliminary Plan Checklist

INFORMATION REQUIRED FOR PRELIMINARY SUBDIVISION PLAN REVIEW

The information listed below is required by the Town of Victor Planning Board prior to an application being deemed "complete" and prior to a public hearing being scheduled.

A complete application must be received by the Secretary to the Planning Board **FIVE (5) WEEKS** prior to a scheduled Planning Board meeting. This checklist is provided for informational purposes only, and is not to be "used" or "removed" and all items listed must be on the plan at the time of submittal.

Preliminary subdivision plan must show the following information:

1. ___ Twelve (12) copies of plan; Plan not more than 34" x 44".
2. ___ Scale not less than 1" = 100'.
3. ___ If more than one sheet is required to show entire project, an index map should be provided.
4. ___ Date. 5. ___ North Arrow. 6. ___ Location Map (3" x 3")
7. ___ The approximate lines of proposed lots, the acreage contained in each lot and lot numbering.
8. ___ Owners of adjacent lands. 9. ___ Field survey of boundary lines of proposed lots.
10. ___ The approximate lines and purposes of proposed easements.
11. ___ The approximate location and dimensions of areas proposed for parks, playgrounds, or other pertinent open space.
12. ___ Subdivision name. 13. ___ Engineer's seal and signature.
14. ___ Owner's name, address and signature.
15. ___ Name, address and signature of designer. 16. ___ Deed descriptions.
17. ___ Property boundaries including bearings and distances.
18. ___ Location of property lines. 19. ___ Existing buildings.
20. ___ Existing site features including bodies of water, water courses, swamps, creeks, springs, and woods.

Final Design Plan

- Advances the Preliminary Plan to Preparation for Construction
- Contains all Construction and Design Details
- Addresses any Conditions or Concerns of Preliminary Plan Review
- Implements Findings of Design Studies and Municipal SEQRA Review
- Contains all Technical Information Necessary for the Property to be Developed to Municipal Standards and Maps to be Recorded / Filed

Final Plan Checklist

INFORMATION REQUIRED FOR FINAL SUBDIVISION PLAN REVIEW

The information listed below is required by the Town of Victor Planning Board prior to an application being deemed "complete."

A complete application must be received by the Secretary to the Planning Board **FIVE (5) WEEKS** prior to a scheduled Planning Board meeting. This checklist is provided for informational purposes only, and is not to be "used" or "removed" and all items listed must be on the plan at the time of submittal.

Submission requirements for Final Plans for **Major Subdivisions**:

The final subdivision plans shall include the following separate sheets:

1. _____ Subdivision plat record plan.
2. _____ Grading and Drainage Plan.
3. _____ Utility Plan.
4. _____ Landscaping Plan.
5. _____ Street Lighting Plan.

In addition to the requirements for Sketch Plan and the Preliminary Plan, the following information shall be provided on the Final Plans:

6. GENERAL

_____ Twelve (12) sets of full size plans not more than 34" x 44" and One (1) 11x17 (unless additional are requested)

_____ If more than one sheet, provide an index map.

_____ Date and North Arrow.

_____ Subdivision name.

_____ Name, address and signature of owner of record.

_____ Owners of adjacent lands.

_____ Name, address and signature of Engineer or Surveyor.

_____ Engineer's seal and signature.

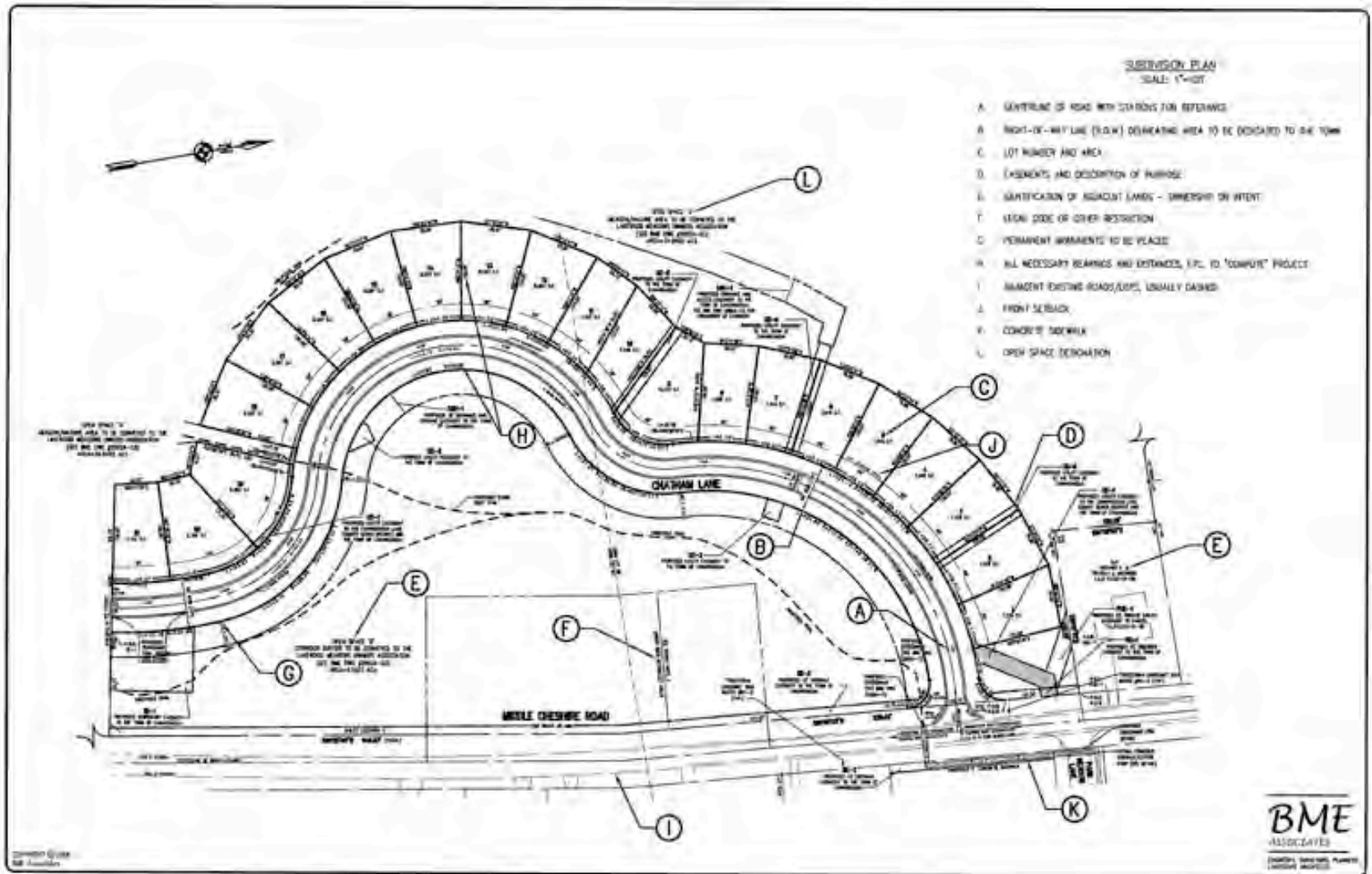
_____ Field survey of boundary lines of proposed lots.

_____ Covenants, easements, or deed restrictions affecting the proposed subdivision.

Final Subdivision Plan

- Plan is Considered a Legal Instrument
- Parcel Divisions with Dimensional Information
 - Distances and lengths
 - Compass (angular) directions of lines
- Street Right-of-Ways and Easements
- Zoning Information, including Bulk Area Requirements and Setbacks
- Lot Numbers and Lot Areas
- Any Special Conditions of Subdivision to be Filed with the Plan
- Subdivision Notes (lot area requirements, conditions of approval) See Appendix

Subdivision Plan



Typical Subdivision Notes

1. SECTION 4 AREA IS 19.64 ACRES± CONTAINING 16 LOTS AND 11.03± ACRES OF CONSERVATION EASEMENT AND HOMEOWNERS ASSOCIATION (HOA) LANDS.
2. EXISTING ZONING: R-2
THIS PROPOSAL IS TO BE DEVELOPED UNDER SECTION 278 OF TOWN LAW AND SECTION 184 (SUBDIVISION OF LAND), ARTICLE V, OF THE TOWN OF VICTOR CODE.
3. PROPOSED USE: RESIDENTIAL SINGLE FAMILY DWELLING
4. TOTAL HOA/CONSERVATION EASEMENT AREA PROVIDED IN SECTION 4 IS 11.03± ACRES.

5. LOT STANDARDS:

	REQUIRED	PROVIDED
		R-2
MINIMUM LOT SIZE	25,000 SF	16,200 SF*
MINIMUM LOT WIDTH (@ SETBACK)	100'	90'*
MINIMUM LOT WIDTH ON CUL-DE-SAC	50'	50'
MINIMUM LOT DEPTH	175'	160'*
SETBACKS:		
FRONT	40'	40' (LOTS 26-29) 25' (LOTS 14-22)
SIDE	15'	10'*
REAR	40'	10'*
DRIVEWAY SIDE SETBACK	10'	2'*

* THE ABOVE LOT STANDARDS ARE PROPOSED UNDER SECTION 278 OF TOWN LAW AND THE CLUSTERING PROVISIONS (ARTICLE V) OF THE TOWN OF VICTOR CODE.

6. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF VICTOR AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
7. REVIEW OF FEMA MAPS DOES NOT INDICATE THIS PROPERTY TO BE WITHIN A RECOGNIZED 100-YEAR FLOODPLAIN.
8. ALL STREET AND TRAFFIC CONTROL SIGNS REQUIRED BY THE TOWN OF VICTOR DESIGN AND CONSTRUCTION STANDARDS WILL BE INSTALLED PRIOR TO STREET DEDICATION.
9. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
10. THIS PROPERTY MAY BORDER A FARM, AS DEFINED IN LOCAL LAW NO. 4-1992. RESIDENTS SHOULD BE AWARE THAT FARMERS HAVE THE RIGHT TO UNDERTAKE FARM PRACTICES WHICH MAY GENERATE DUST, ODOR, SMOKE, NOISE AND VIBRATION.
11. IN LIEU OF STREET LIGHTING, EACH HOUSE WILL BE PROVIDED A LAMP POST AT THE EDGE OF THE DRIVEWAY IN THE FRONT YARD OF EACH LOT. INDIVIDUAL LAMP POSTS SHALL HAVE A UNIFORM LOCATION OF 20 FEET FROM THE RIGHT-OF-WAY, USE UNIFORM LIGHT FIXTURES, AND BE LOCATED TO PREVENT INTERFERENCE WITH WATER, STORM, AND SANITARY LATERALS.
12. ALL PRIVATE LOTS WILL BE MARKED WITH CAPPED REBAR AT ALL LOT CORNERS AFTER HOUSE CONSTRUCTION AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

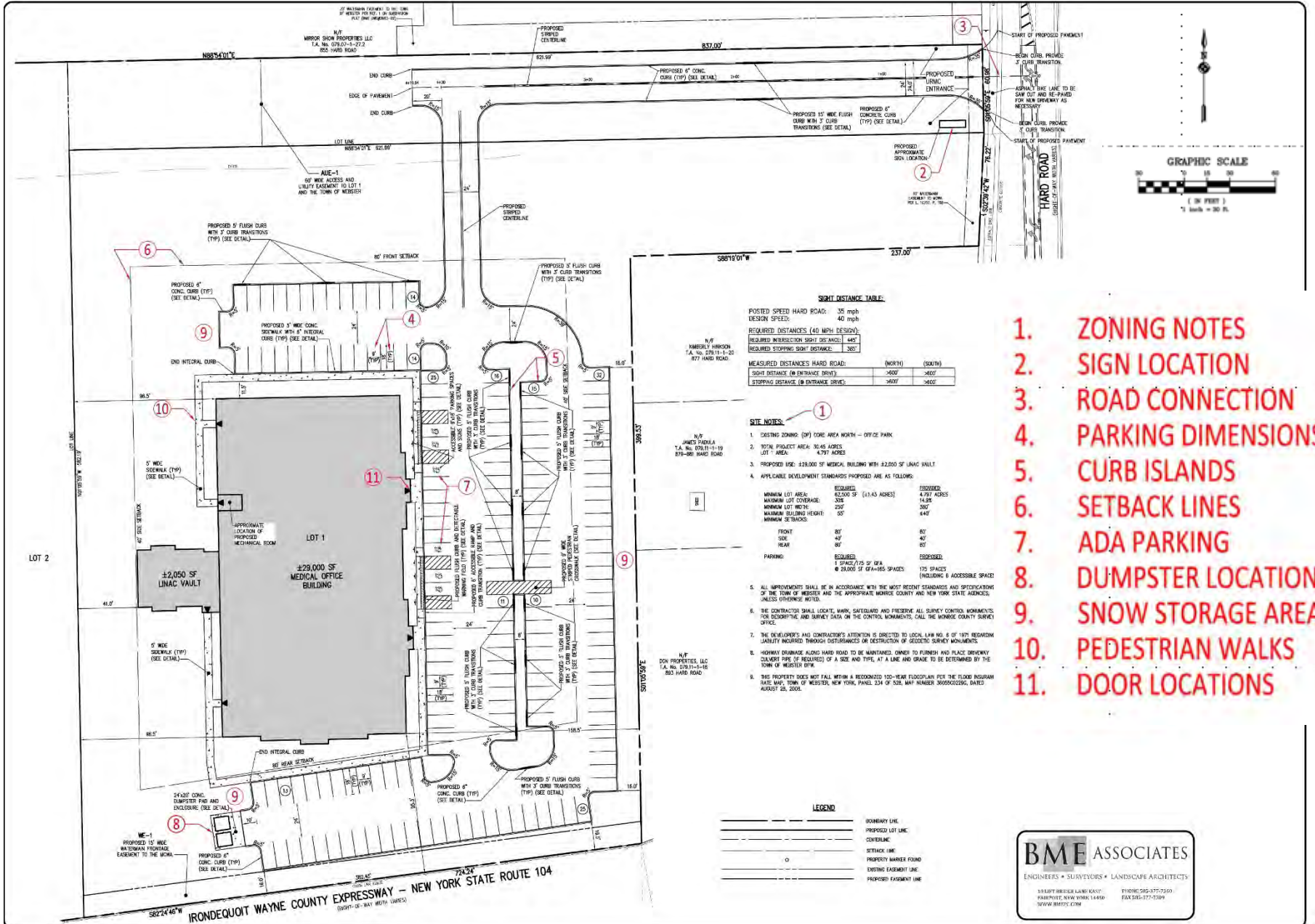
Final Site Plan

- **Typical Checklist Items**
 - Zoning information
 - Setbacks
 - Lot coverage
 - Parking requirements
 - Building height
 - Traffic flow patterns
 - Point of access / Sight distance
 - Delivery areas
 - Shared access

Final Site Plan

- **Typical Checklist Items (cont.)**
 - Traffic flow patterns
 - Drive-thru circulation and queues
 - Parking spaces (incl. handicap and ramps)
 - Pedestrian access, including crosswalks
 - Dumpster locations / enclosures
 - Snow storage
 - Land bank parking areas
 - Greenspace calculation

Site Plan



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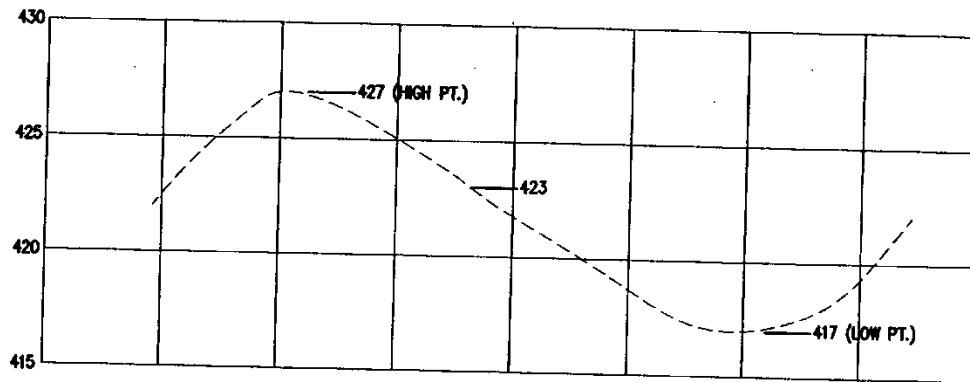
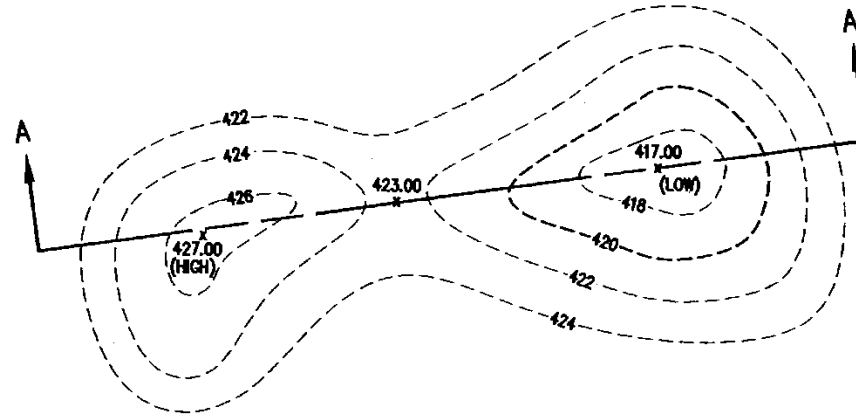
10 ALFRED BRIGGS LANE EAST
 FAIRBANKS, NEW YORK 14450
 WWW.BMECO.COM

PHONE: 516-477-7350
 FAX: 516-477-7399

Grading Plan

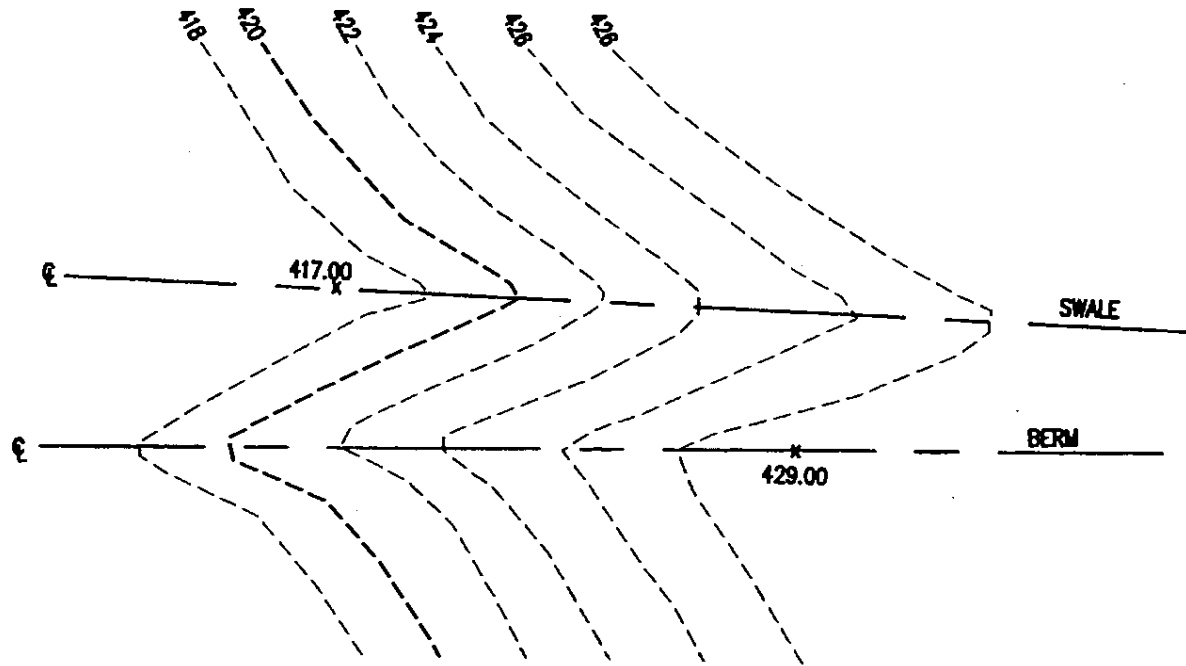
- **Existing and Proposed Ground Elevations (Contours)**
- **Contours: Lines that Connect Points of Equal Elevation**
- **Contour Intervals (1', 2' & 5')**

Contour Examples



SECTION A-A

Contour Examples



Grading Plan

- Slope: A measurement of steepness. The vertical rise for 100' of horizontal distance (% slope). Closer the contour lines, the steeper the slope.
- Cuts / Fills: The difference between existing and proposed contour elevations

Grading Plan

- **Typical Checklist Items**
 - Proposed grading
 - Building finish floor elevation
 - Parking lot grades 5% maximum
 - Drainage patterns
 - Stormwater management facilities

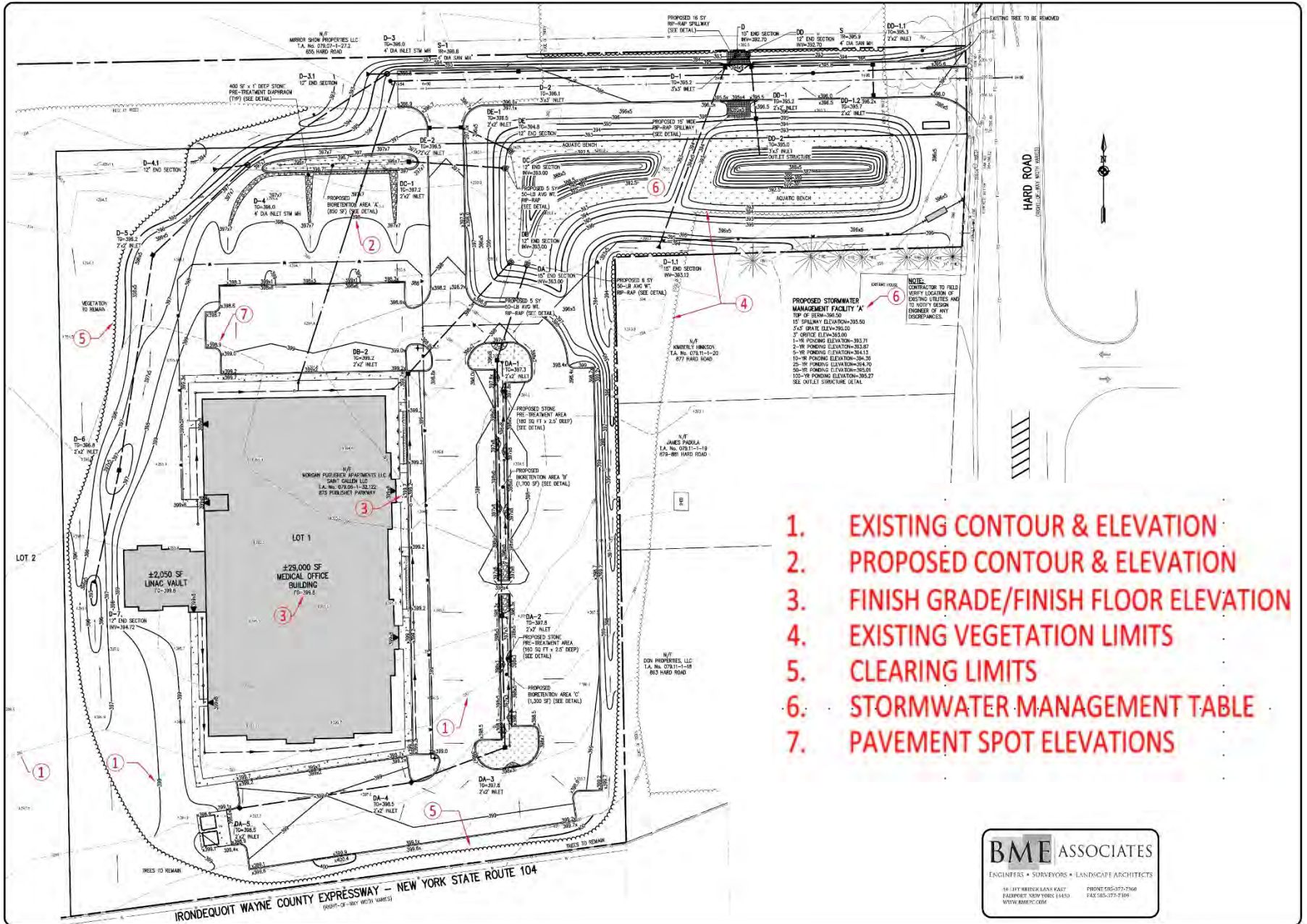
Grading Plan

- Illustrates Proposed Cuts and Fills of Topography
- Shows Existing and Proposed Vegetation Limits (Clearing Limits)
- Identify Existing and Proposed Drainage Patterns (Stormwater Flows Perpendicular to Contour Lines)
- Identify Locations for Storm Inlets and Other Drainage Features
- Proposed Building Elevations

Erosion Control Plan

- **Grading Notes**
 - Topsoil reclamation
 - Slope stabilization
- **Sequence of Construction**
- **Erosion Control Measures**

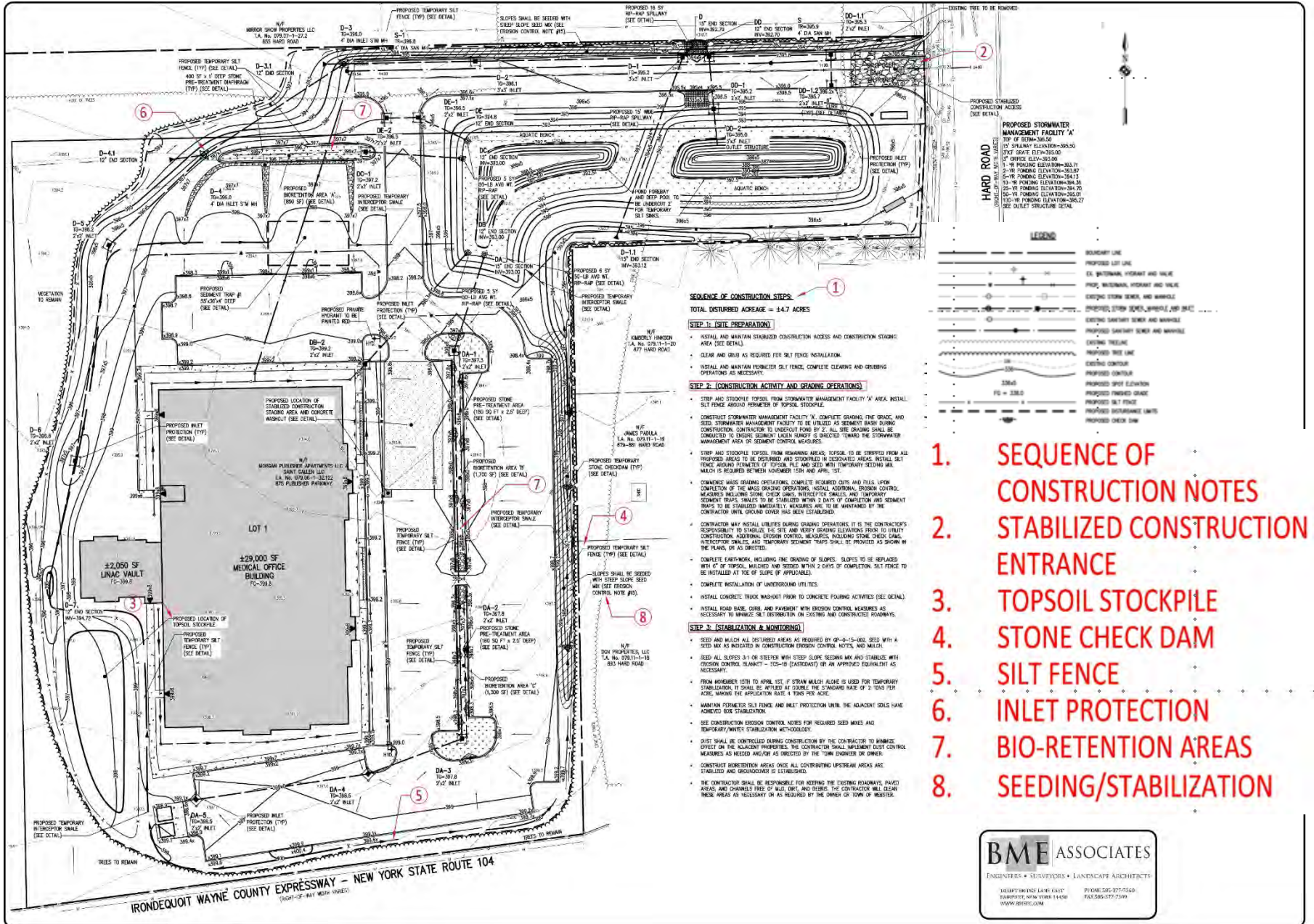
Grading Plan



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 FAX: 607-373-7699

IRONDEQUOT WAYNE COUNTY EXPRESSWAY - NEW YORK STATE ROUTE 104
 (60911-01-104-104) (60911-01-104-104)

Construction Erosion Control Plan



SEQUENCE OF CONSTRUCTION STEPS

TOTAL DISTURBED ACREAGE = 44.7 ACRES

- STEP 1: (SITE PREPARATION)**
- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ACCESS AND CONSTRUCTION STAGING AREA (SEE DETAIL).
 - CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
 - INSTALL AND MAINTAIN FORMER SILT FENCE, COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY.
- STEP 2: (CONSTRUCTION ACTIVITY AND GRADING OPERATIONS)**
- STAMP AND STOCKPILE TOPSOIL FROM STORMWATER MANAGEMENT FACILITY 'A' AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL STOCKPILE.
 - CONSTRUCT STORMWATER MANAGEMENT FACILITY 'A'. COMPLETE GRADING, THE GRAB, AND SEED STORMWATER MANAGEMENT FACILITY TO BE UTILIZED AS SEDIMENT BASIN DURING CONSTRUCTION. CONTINUATION TO PROTECT TONE BY 2" ALL-SIZE GRASSING SHALL BE COMMENCED TO ENSURE SEDIMENT LOADS ARE DIRECTED TOWARD THE STORMWATER MANAGEMENT AREA (SEE SEDIMENT CONTROL MEASURES).
 - STAMP AND STOCKPILE TOPSOIL FROM REMAINING AREAS. TOPSOIL TO BE STRIPPED FROM ALL PROPOSED AREAS TO BE DISTURBED AND STOCKPILED IN DESIGNATED AREAS. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
 - COMPLETE ALL GRASSING OPERATIONS. COMPLETE REQUIRED CUTS AND PILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS, INSTALL ADDITIONAL BROWN COVER. MEASURES INCLUDING STONE CHECK DAMS, INTERCEPTOR SANGLES, AND TEMPORARY SEDIMENT TRAPS. SANGLES TO BE STABILIZED WITHIN 3 DAYS OF COMPLETION AND SEDIMENT TRAPS TO BE MAINTAINED BY THE CONTRACTOR UNTIL GRASS COVER HAS BEEN ESTABLISHED.
 - CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRASSING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL BROWN COVER, MEASURES INCLUDING STONE CHECK DAMS, INTERCEPTOR SANGLES, AND TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.
 - COMPLETE EARTHWORK, INCLUDING THE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
 - COMPLETE INSTALLATION OF UNDERGROUND UTILITIES.
 - INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
 - INSTALL ROAD BASE, CURB, AND PARAPET WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE OR ELIMINATE RUN-ON DURING CONCRETE WORKINGS.
- STEP 3: (STABILIZATION & MONITORING)**
- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY 09-01-15-002 SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
 - SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE WITH EROSION CONTROL BLANKET - 105-10 (EASTON) OR AN APPROVED EQUIVALENT AS NECESSARY.
 - FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT A MINIMUM RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
 - MAINTAIN FORMER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 60% STABILIZATION.
 - USE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WHITE STABILIZATION METHODOLOGY.
 - QUIET SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS REQUIRED AND/OR AS DIRECTED BY THE TOWN ENGINEER OF COURSE.
 - CONSTRUCT BIODIVERSITY AREAS ONCE ALL CONTOURING UPSTREAM AREAS ARE STABILIZED AND ORGANIC/MIX IS ESTABLISHED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MULCH, ROCK, AND RUBBISH. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF WESTSTAR.

1. SEQUENCE OF CONSTRUCTION NOTES
2. STABILIZED CONSTRUCTION ENTRANCE
3. TOPSOIL STOCKPILE
4. STONE CHECK DAM
5. SILT FENCE
6. INLET PROTECTION
7. BIO-RETENTION AREAS
8. SEEDING/STABILIZATION

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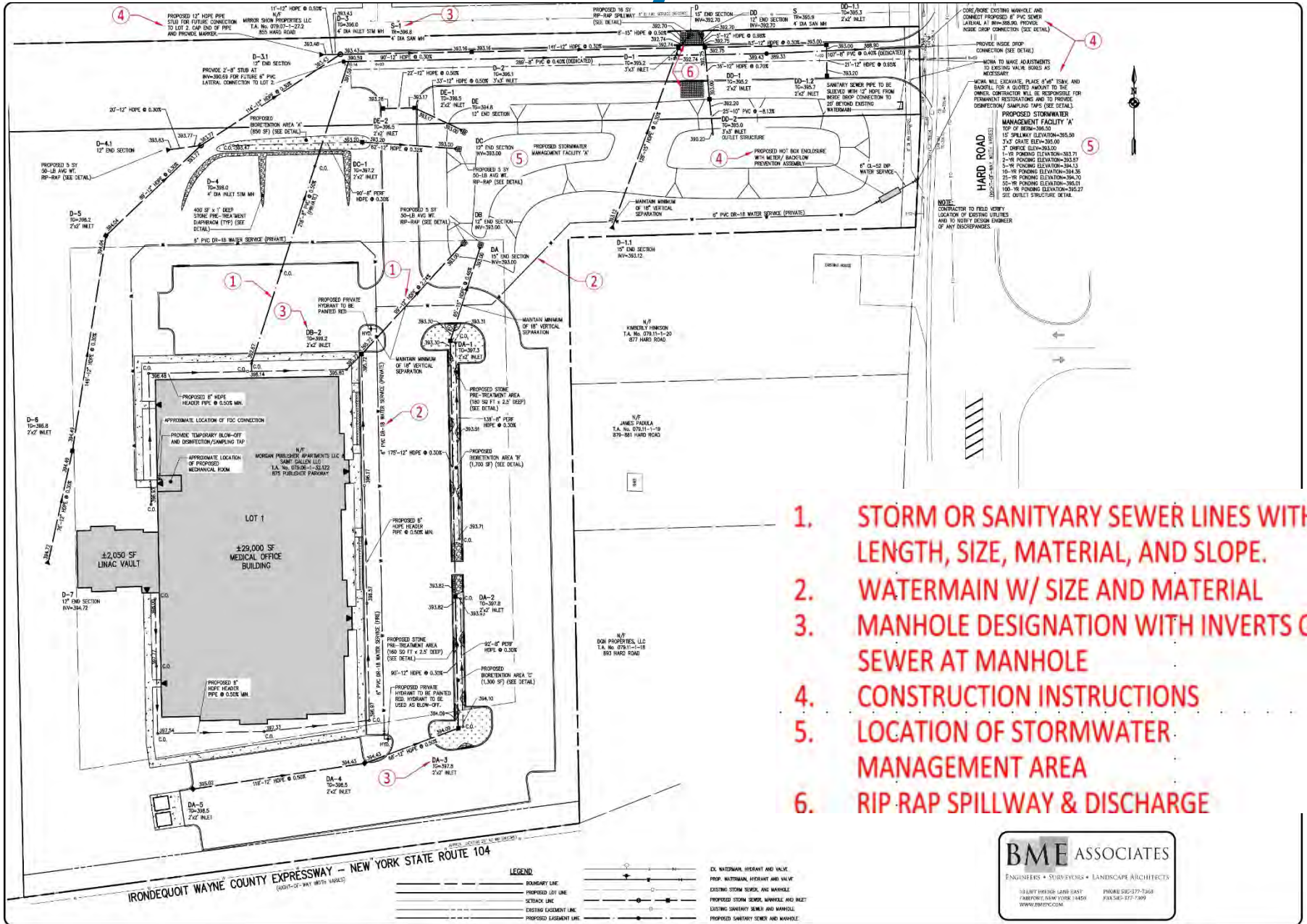
Utility Plan

- **Identifies Existing and Proposed Utility Systems to Serve Development**
 - Water supply (watermains)
 - Sanitary and storm sewers
 - Septic systems / wells (if required)
 - Private utility systems (gas, electric, telephone)
- **Contains Design Information for Systems**
 - Pipe size and material
 - Invert or depth below ground
 - Pipe slope (direction of flow)

Utility Plan

- **Location of Appurtenances**
 - Hydrants and water line valves
 - Manholes and inlets
- **Additional Easements for Utility Lines (Outside of Road Right-of-Way)**
 - Minimum 20' easement width
 - Width equals double the depth
- **Contains Construction and Testing Notes of Regulatory Agencies (Water Authority and Health Department)**

Utility Plan



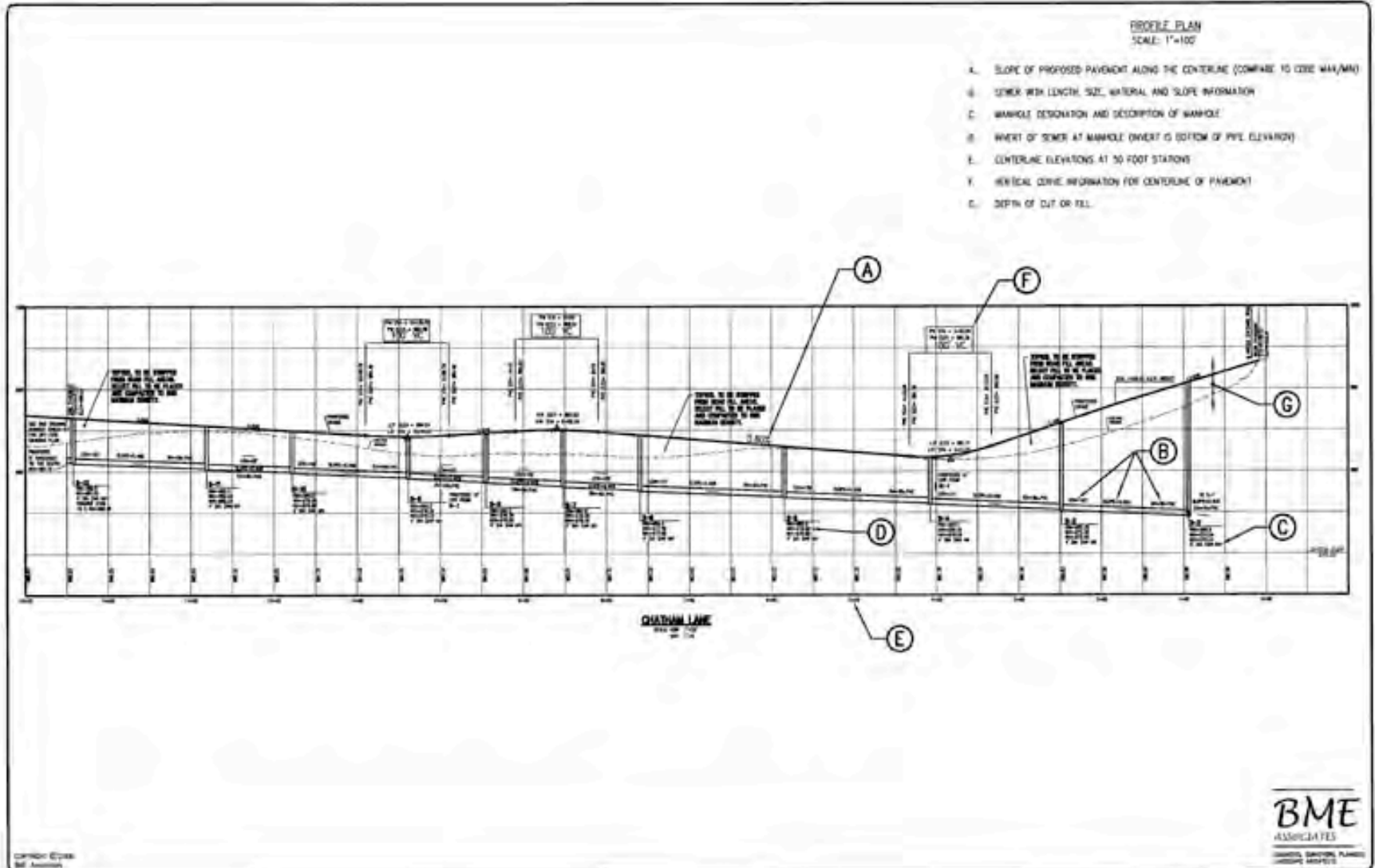
1. STORM OR SANITARY SEWER LINES WITH LENGTH, SIZE, MATERIAL, AND SLOPE.
2. WATERMAIN W/ SIZE AND MATERIAL
3. MANHOLE DESIGNATION WITH INVERTS OF SEWER AT MANHOLE
4. CONSTRUCTION INSTRUCTIONS
5. LOCATION OF STORMWATER MANAGEMENT AREA
6. RIP-RAP SPILLWAY & DISCHARGE

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Profile Sheet

- **Provides Side View of Proposed Roads and Utilities**
 - x. axis = centerline road station
 - y. axis = elevation
- **Plan Illustrates how Roads and Sewers Change in Elevation over their Length**
 - Road slope (0.50% min. / 8.0% maximum)
 - Pipe slope and depth
 - Potential pipe conflicts
- **Very Effective in Identifying Utility Depths and Proposed Change to Existing Topography (Cut or Fill)**

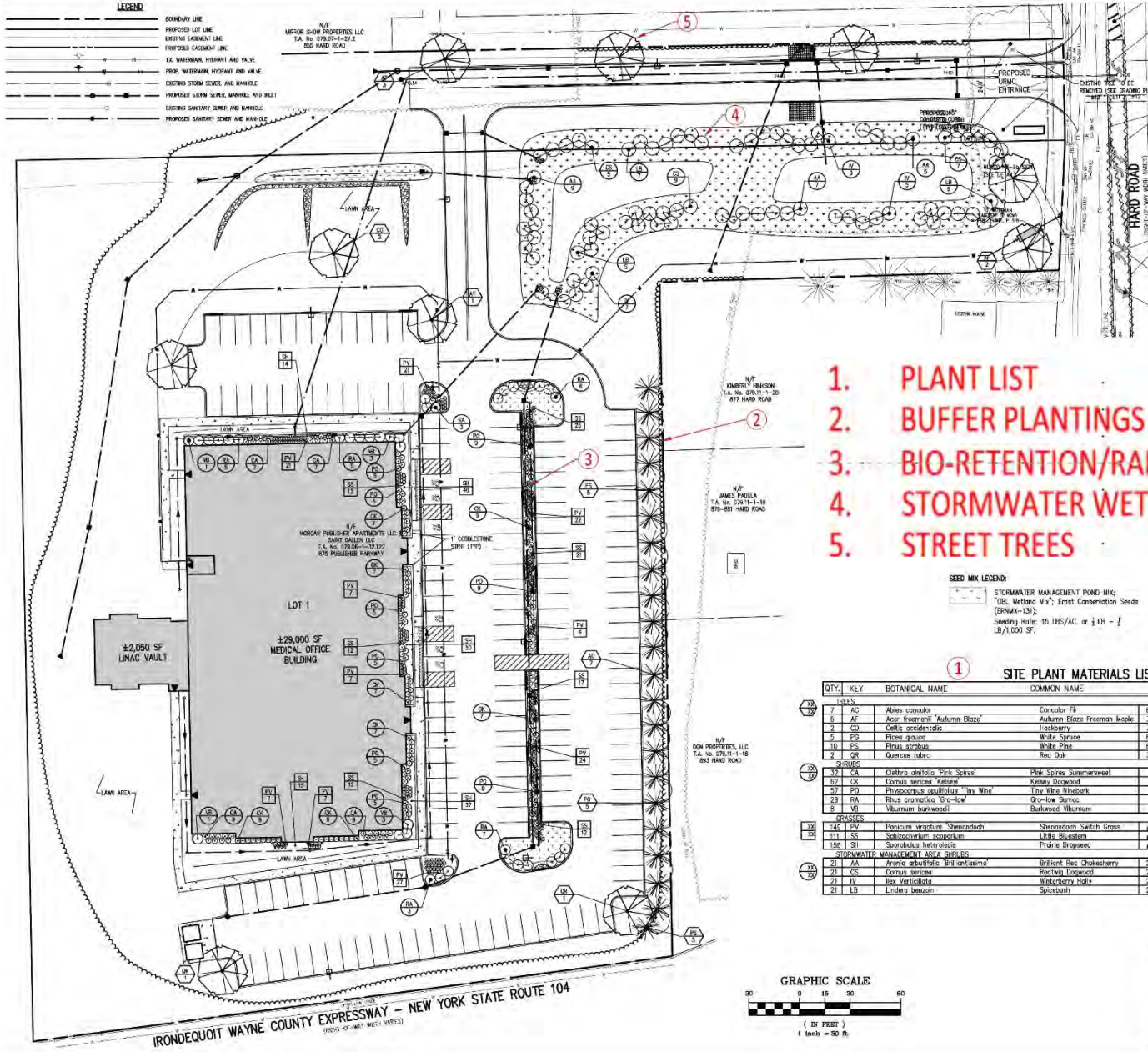
Profile Sheet



Landscape Plan

- **Landscaping**
 - Proposed plant materials
 - SWMA plantings
 - Building foundation plantings
 - Seeding plan
 - Buffering & screening
 - Native plants/Salt tolerant plants

Landscape Plan

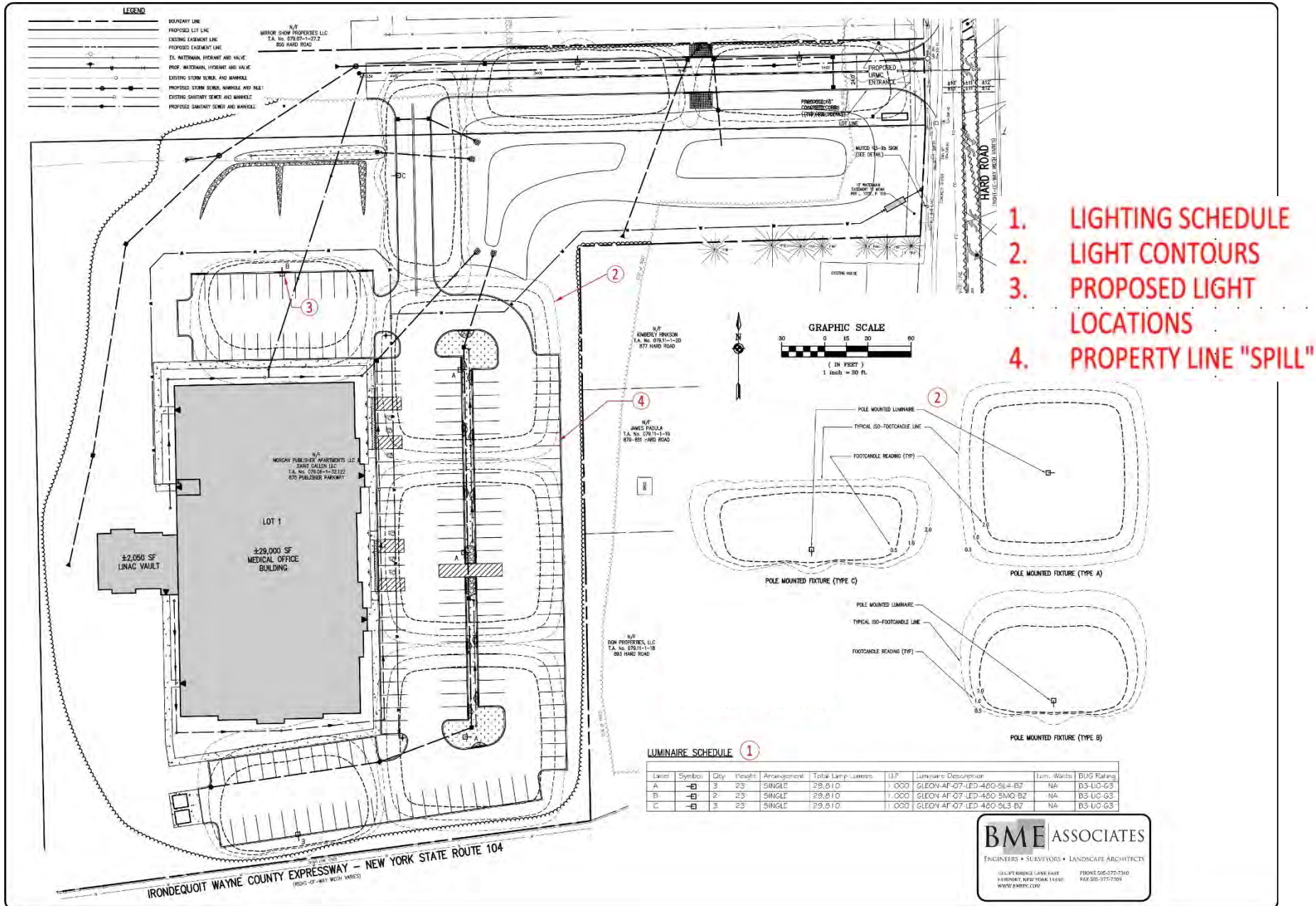


1. PLANT LIST
2. BUFFER PLANTINGS
3. BIO-RETENTION/RAIN GARDEN PLANTINGS
4. STORMWATER WETLAND PLANTING
5. STREET TREES

Lighting Plan

- **Lighting**
 - Type of Lighting (LED)
 - Pole height
 - # of fixtures
 - Dark sky compliant
 - Lighting contours / foot candles
 - Building mounted lighting

Lighting Plan



Contact Information

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